

# DA // Demolition of an Existing House and Propose of a New Dwelling

Tuesday, 4 February 2025

APPLICANT: Minh Tran

23 CHELMSFORD AVENUE BANKSTOWN NSW 2200



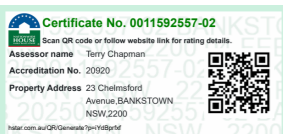
OPTION	DRAWING No.	DESCRIPTION	REV	ISSUED
DEVELOPMENT APPLICATION (stage 2)				
	DA01	COVER PAGE	01	<input checked="" type="checkbox"/>
	DA02	SITE ANALYSIS PLAN	01	<input checked="" type="checkbox"/>
	DA03	DEMOLITION PLANS	01	<input checked="" type="checkbox"/>
	DA04	PROPOSED SITE PLAN	01	<input checked="" type="checkbox"/>
	DA05	FSR AREAS & COMPLIANCE	01	<input checked="" type="checkbox"/>
	DA06	PROPOSED GROUND FLOOR PLAN	01	<input checked="" type="checkbox"/>
	DA07	PROPOSED FIRST FLOOR PLAN	01	<input checked="" type="checkbox"/>
	DA08	PROPOSED ROOF PLAN	01	<input checked="" type="checkbox"/>
	DA09	PROPOSED NORTH & SOUTH ELEVATIONS	01	<input checked="" type="checkbox"/>
	DA10	PROPOSED EAST & WEST ELEVATIONS	01	<input checked="" type="checkbox"/>
	DA11	PROPOSED SECTIONS	01	<input checked="" type="checkbox"/>
	DA12	SHADOW DIAGRAMS 3D - SUMMER SOLTICE	01	<input checked="" type="checkbox"/>
	DA13	SHADOW DIAGRAMS 3D - WINTER SOLTICE	01	<input checked="" type="checkbox"/>
	DA14	PROPOSED DOOR SCHEDULES	01	<input checked="" type="checkbox"/>
	DA15	PROPOSED WINDOW SCHEDULES	01	<input checked="" type="checkbox"/>
	DA16	EXTERNAL FINISHES SCHEDULE	01	<input checked="" type="checkbox"/>
	DA17	NEIGHBOUR NOTIFICATION PLANS	01	<input checked="" type="checkbox"/>



Chelmsford Avenue Perspective



Northam Avenue Perspective



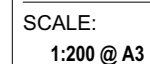
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Client: **Minh Tran**  
Project: **2271**

**23 CHELMSFORD AVENUE  
BANKSTOWN**

DA02



 SITE BOUNDARY  
 DEMOLISHED



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Project: **2271**

SCALE:  
1:100 @ A3

- LEGEND
- PRIVATE OPEN SPACE
  - PROPOSED BUILDING AREA
  - LANDSCAPE AREA

PROPOSED SIET AREAS

Zone Name	Measured Area
LANDSCAPE	106.76
POS	109.62
TOTAL SITE AREA	503.22

TOTAL PRIVATE OPEN SPACE

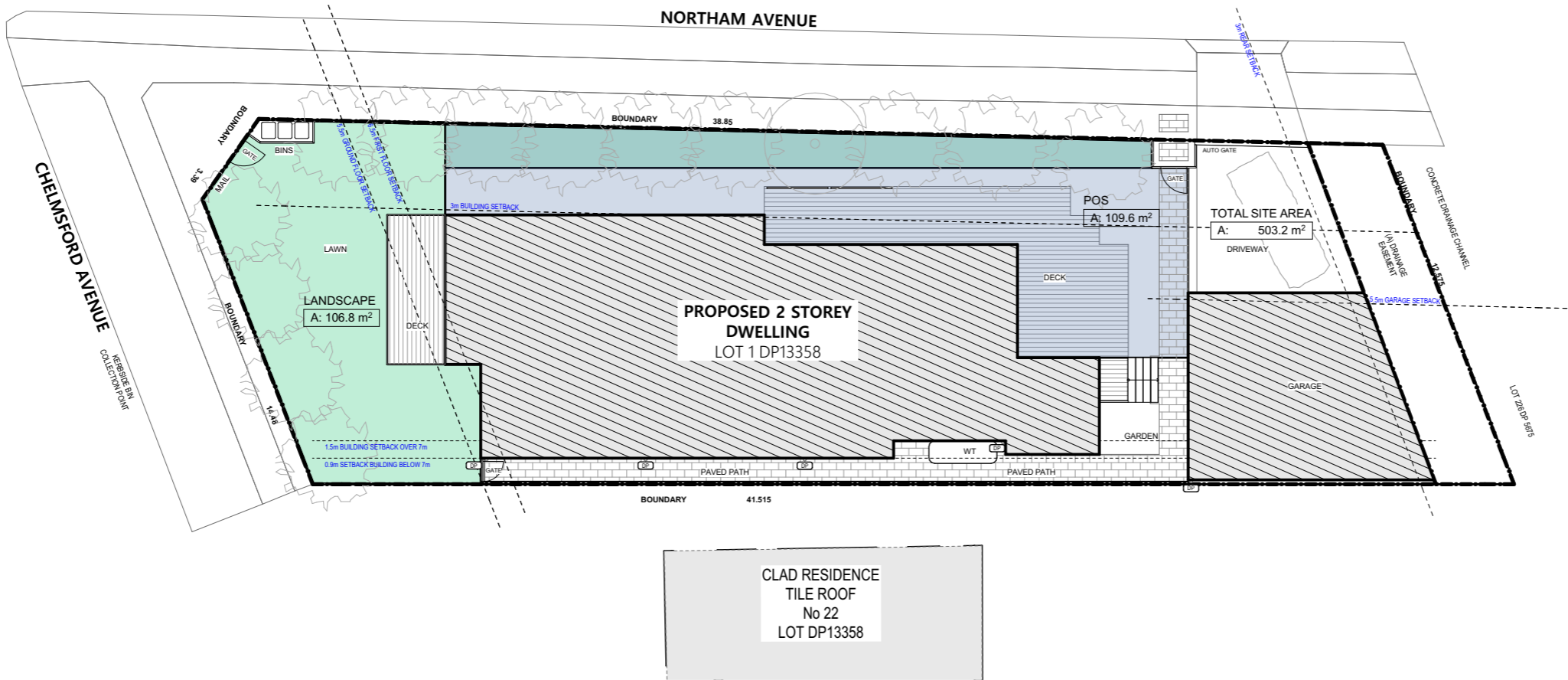
REQUIRED - 80m<sup>2</sup>  
ACTUAL = 109.6m<sup>2</sup>

LANDSCAPED AREA

(a) a minimum 45% of the area between the dwelling house and the primary street frontage; and  
(b) a minimum 45% of the area between the dwelling house and the secondary street frontage;

REQUIRED = 80m<sup>2</sup>  
ACTUAL = 106.8m<sup>2</sup>

OTHER REQUIREMENTS:  
Plant at least one 75 litre tree between the dwelling house and the primary street frontage (refer to the Landscape Guide for a list of suitable trees in Canterbury-Bankstown)



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REV	DATE	DESCRIPTION
01	14/01/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**

Plot Date: **4/02/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

**PROPOSED SITE PLAN**

PROJECT NAME :

**23 CHELMSFORD AVENUE  
BANKSTOWN**

REVISION NO.

**01**

DRAWING NO.

**DA04**

SCALE:  
1:200 @ A3

LEP/DCP COMPLIANCE SUMMARY

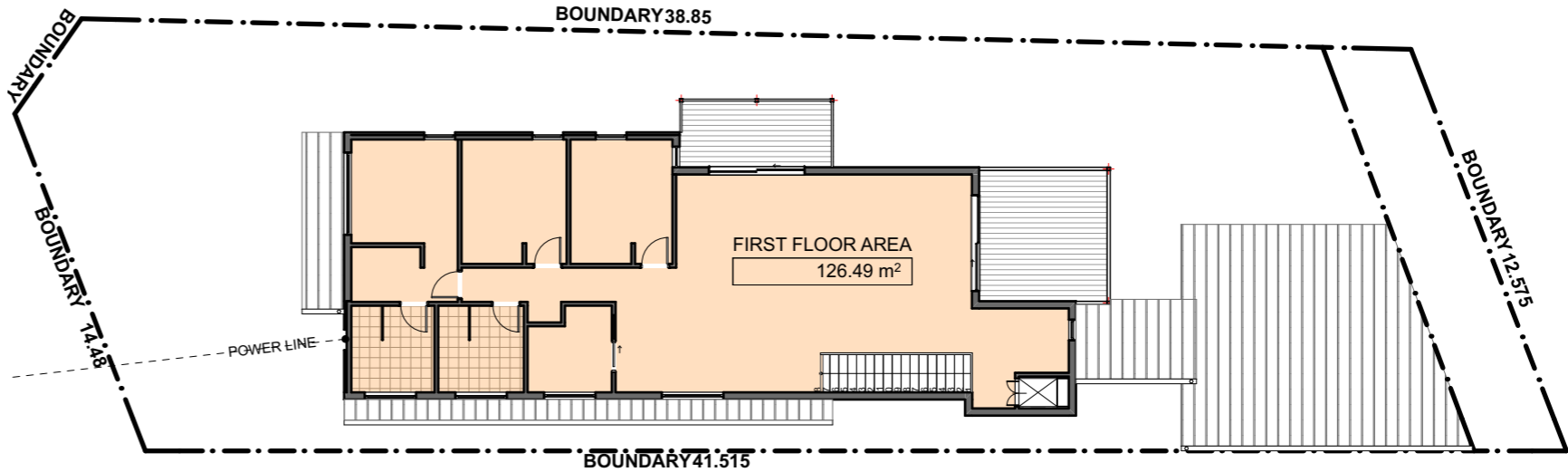
PROPOSED SIET AREAS

Zone Name	Measured Area
LANDSCAPE	106.76
POS	109.62
TOTAL SITE AREA	503.22

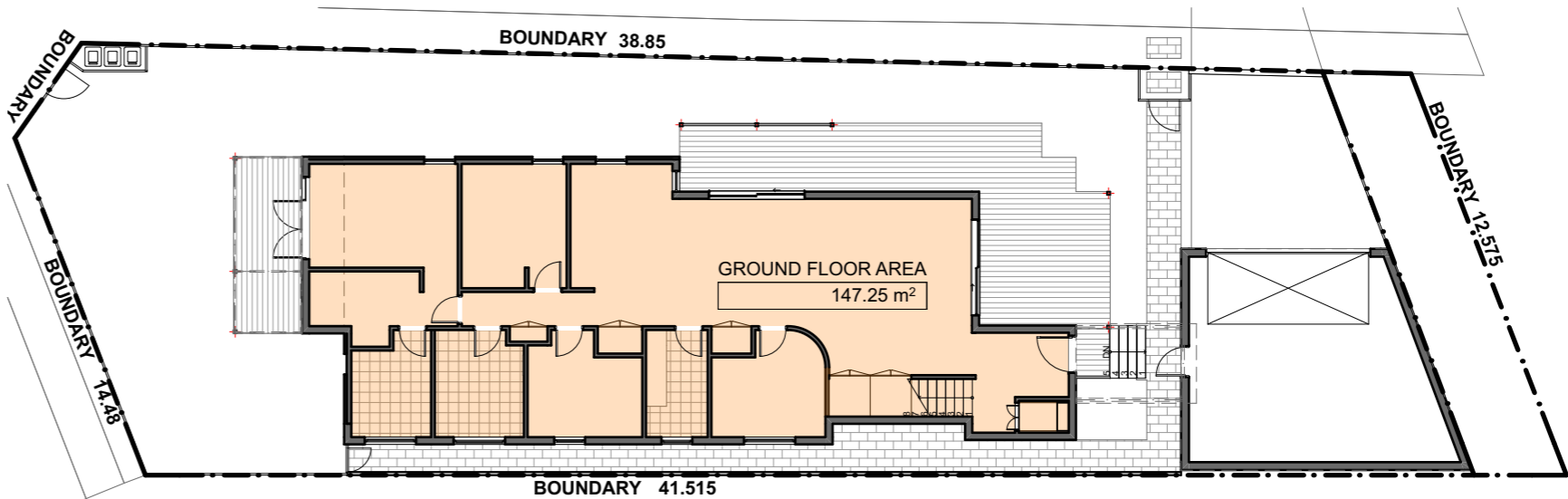
PROPOSED INTERNAL FLOOR AREAS

LEVEL	FLOOR AREA (m2)
FIRST FLOOR AREA	126.49
GROUND FLOOR AREA	147.25
	273.74 m²

LEP FSR - 1:1  
PROPOSED FSR - 0.54:1



GFA FIRST FLOOR



GFA GROUND FLOOR



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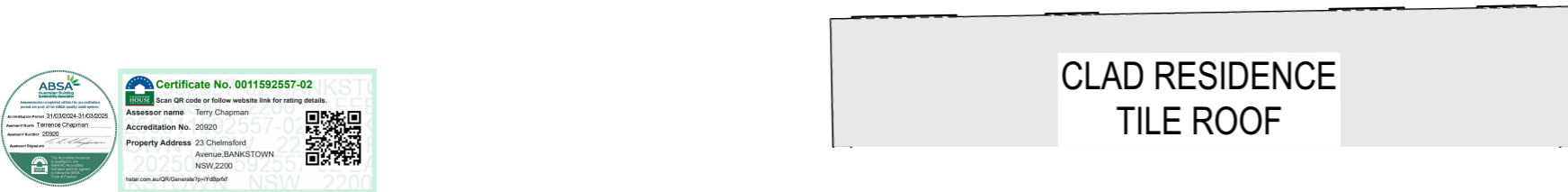
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Plot Date: **4/02/2025**  
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Project: **2271**

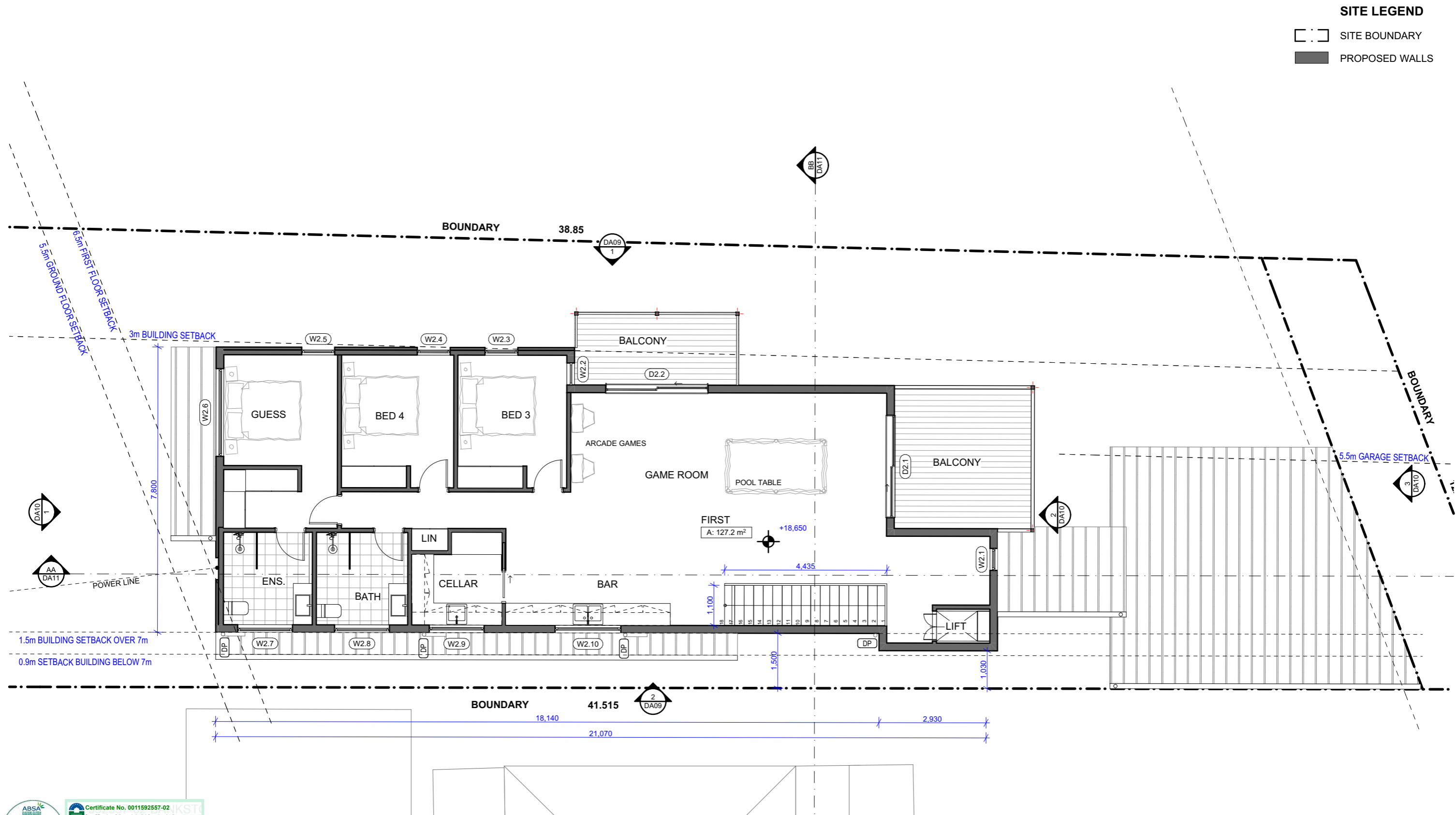
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**FSR AREAS & COMPLIANCE**  
PROJECT NAME :  
**23 CHELMSFORD AVENUE  
BANKSTOWN**

REVISION NO.  
**01**  
DRAWING NO.  
**DA05**

SCALE:  
1:200 @ A3

 SITE BOUNDARY  
 PROPOSED WALLS





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**PROJECT DETAILS**

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Plot Date: **4/02/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

**PROPOSED FIRST FLOOR PLAN**

PROJECT NAME :

**23 CHELMSFORD AVENUE  
BANKSTOWN**

REVISION NO.

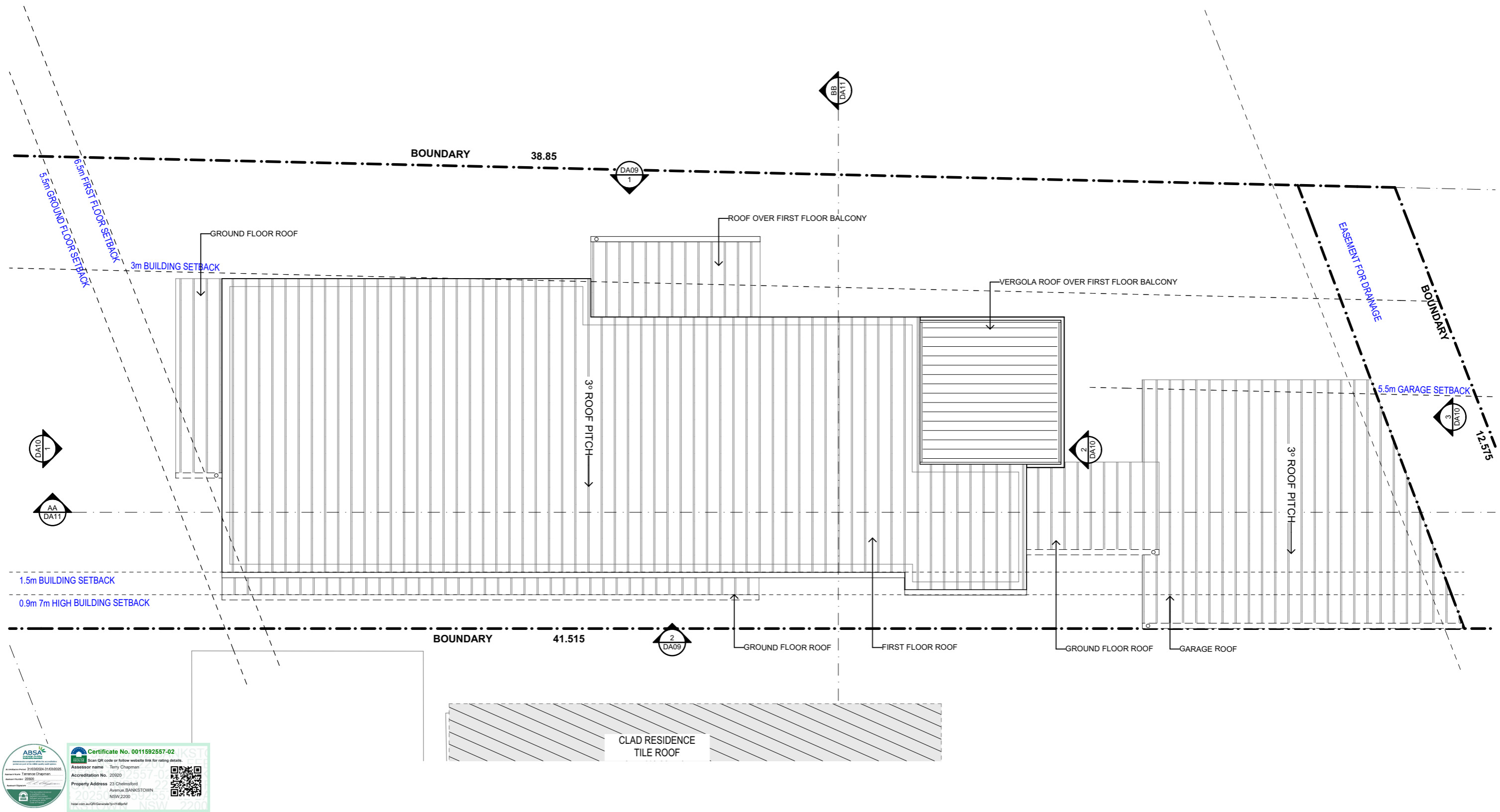
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DRAWING NO.

**DA07**

SCALE:

**1:100 @ A3**



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Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :  
**PROPOSED ROOF PLAN**  
PROJECT NAME :  
**23 CHELMSFORD AVENUE  
BANKSTOWN**

REVISION NO.  
**01**  
DRAWING NO.  
**DA08**

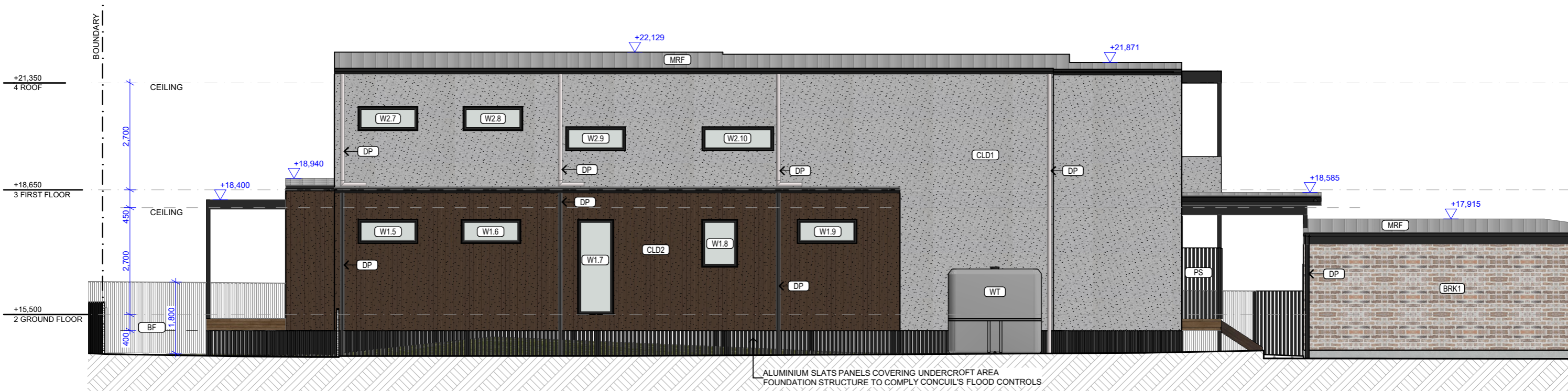
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LEGEND

- CLD1 Hebel PowerPanel external wall system  
CLD2 Hebel PowerPattern 100mm profile external wall system  
BRK1 Brick recycled  
MRF Equideck Flat Roofing  
FC Paint finished fibre cement sheeting  
PS Aluminium battens privacy screen  
BF Aluminium battens fence  
VS Aluminium Vergola system  
GB Glass Balustrade  
COL SHS column



1 NORTH ELEVATION



2 SOUTH ELEVATION

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PROJECT DETAILS

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Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :

**PROPOSED NORTH & SOUTH ELEVATIONS**

PROJECT NAME :

**23 CHELMSFORD AVENUE  
BANKSTOWN**

REVISION NO.

**01**

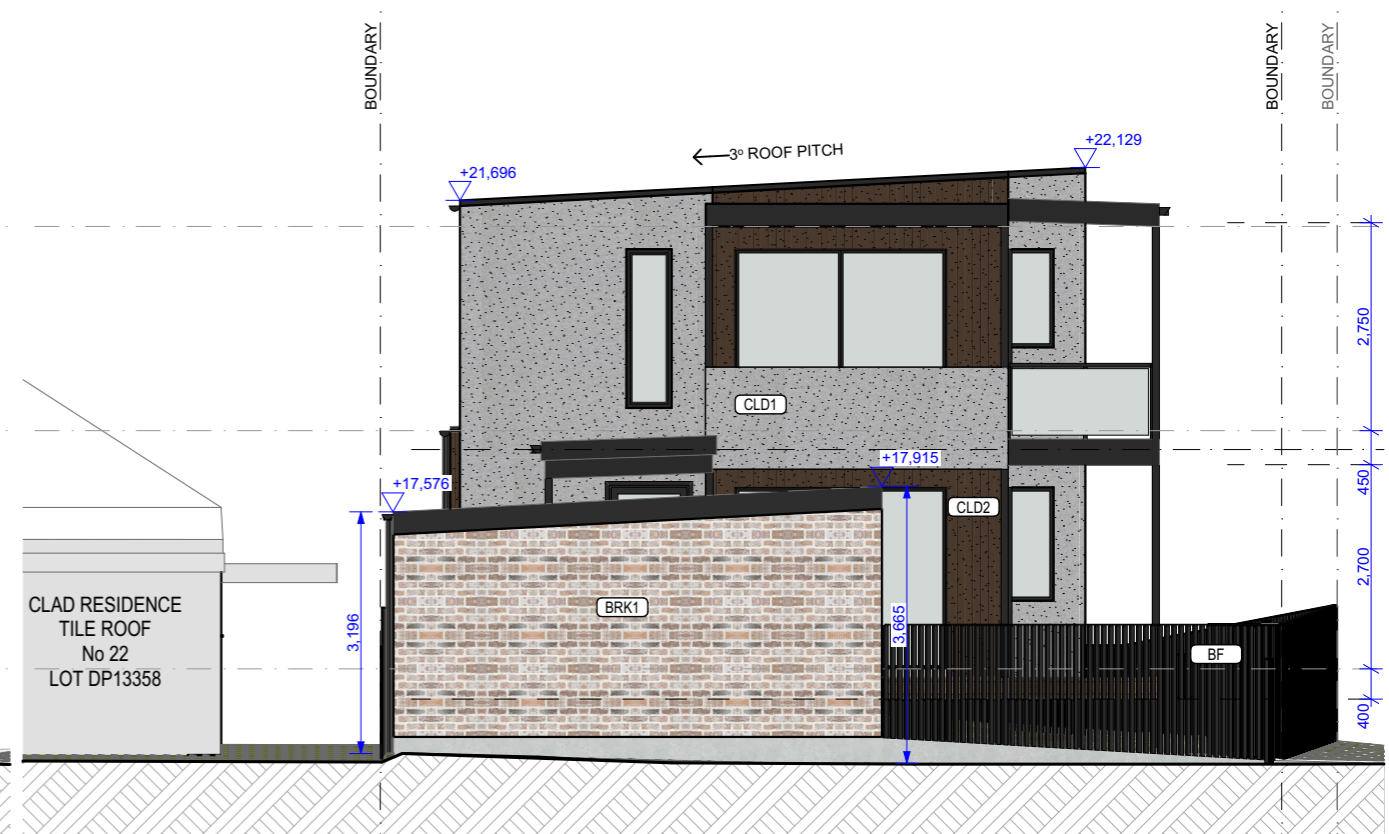
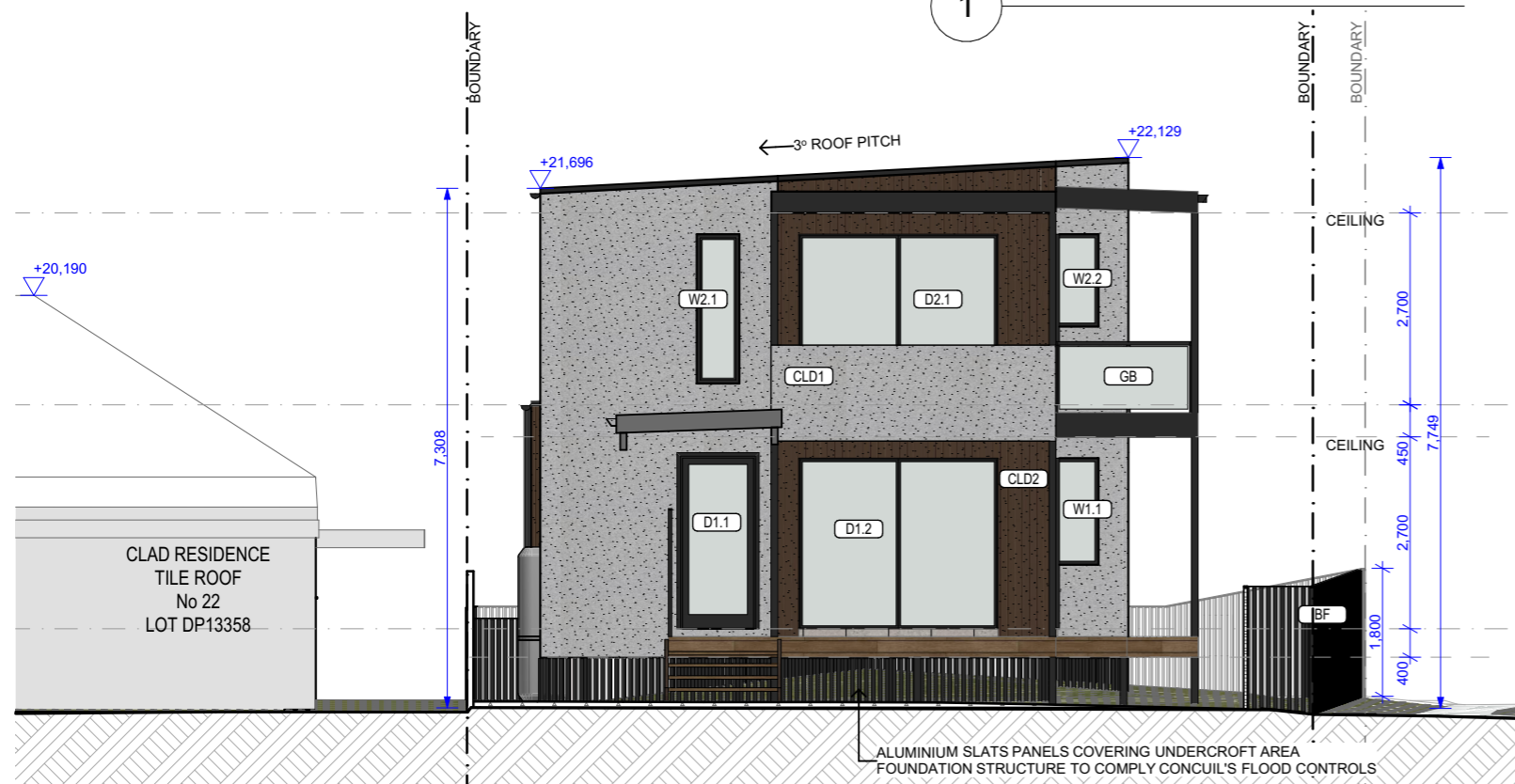
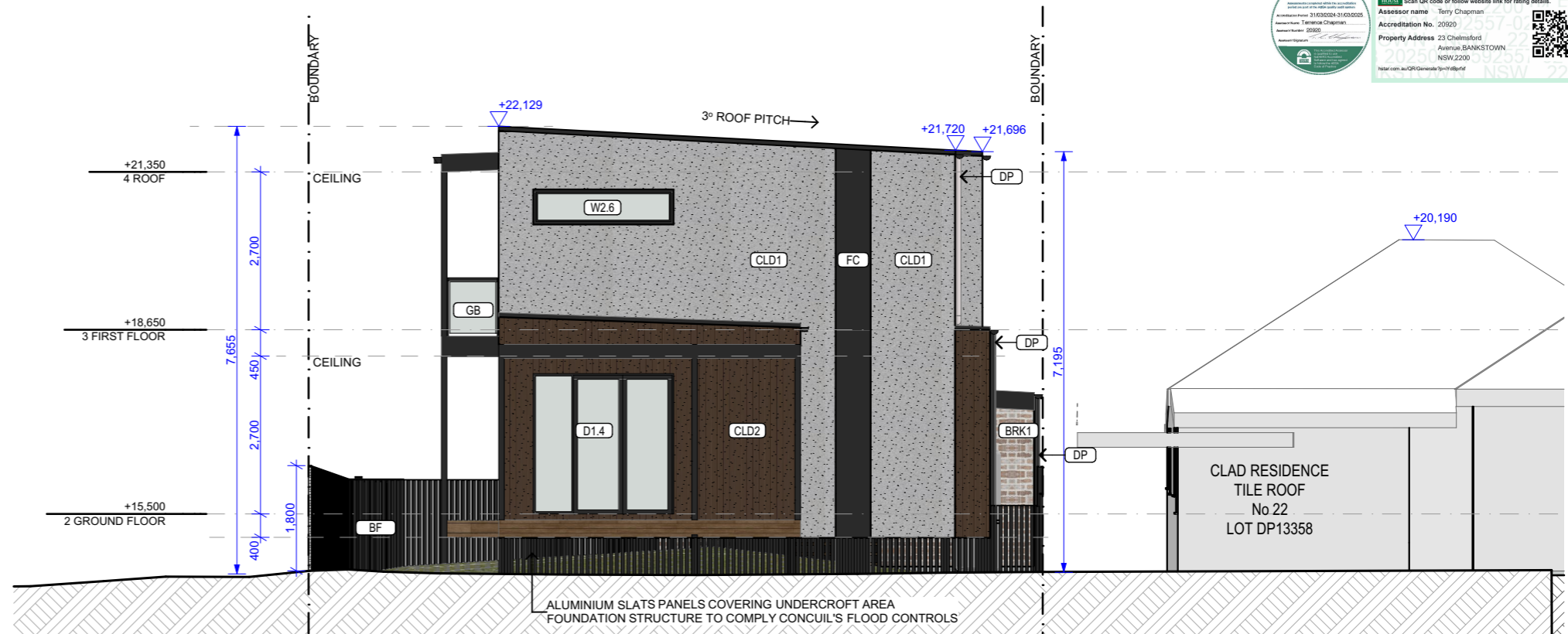
DRAWING NO.

**DA09**

SCALE:  
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## LEGEND

CLD1	Hebel PowerPanel external wall system
CLD2	Hebel PowerPattern 100mm profile external wall system
BRK1	Brick recycled
MRF	Equideck Flat Roofing
FC	Paint finished fibre cement sheeting
PS	Aluminium battens privacy screen
BF	Aluminium battens fence
VS	Aluminium Vergola system
GB	Glass Balustrade
COL	SHS column



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## PROJECT DETAILS

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Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

## DRAWING TITLE :

**PROPOSED EAST & WEST ELEVATIONS**

## PROJECT NAME :

**23 CHELMSFORD AVENUE  
BANKSTOWN**

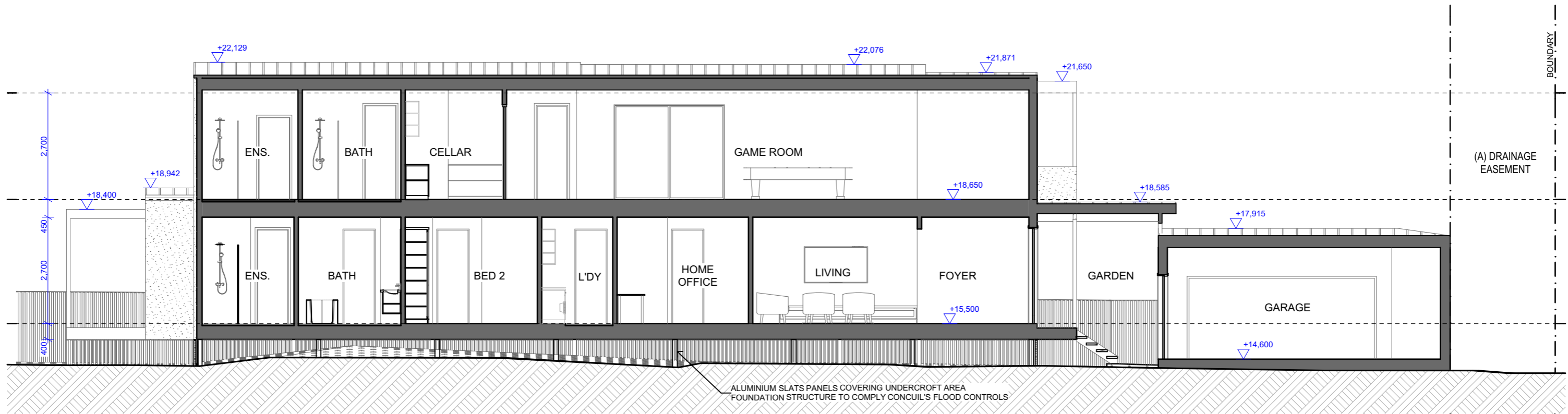
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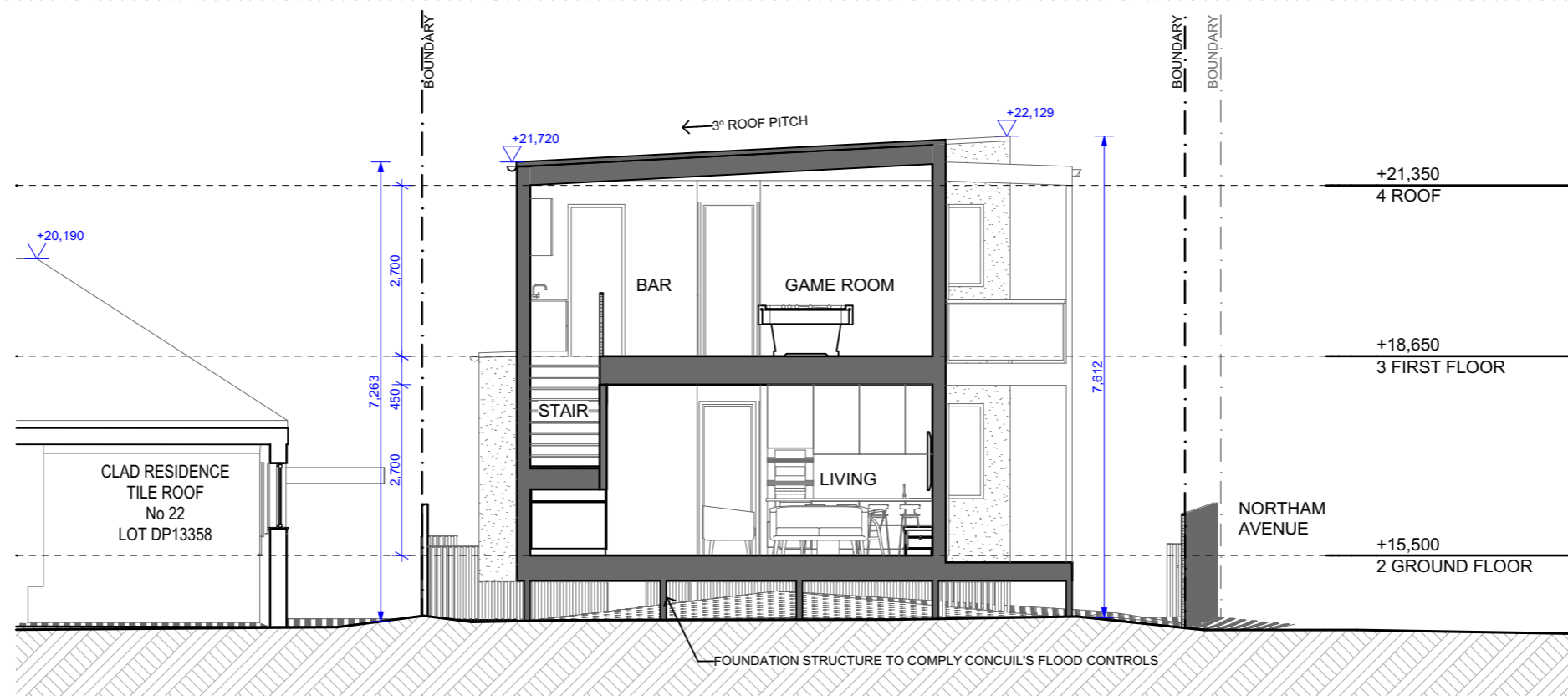
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**DA10**

SCALE:  
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1 SECTION AA



2 SECTION BB



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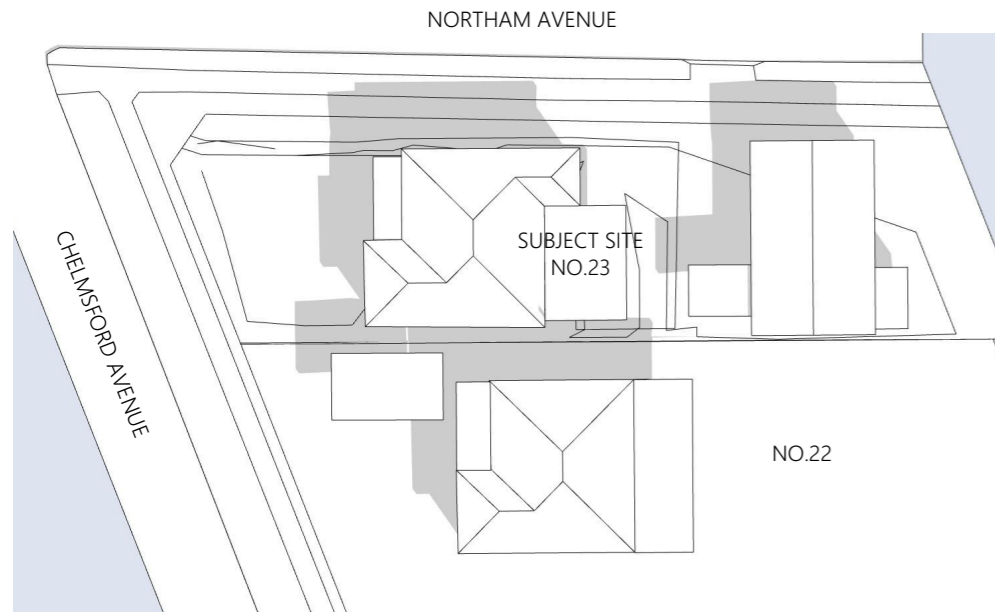
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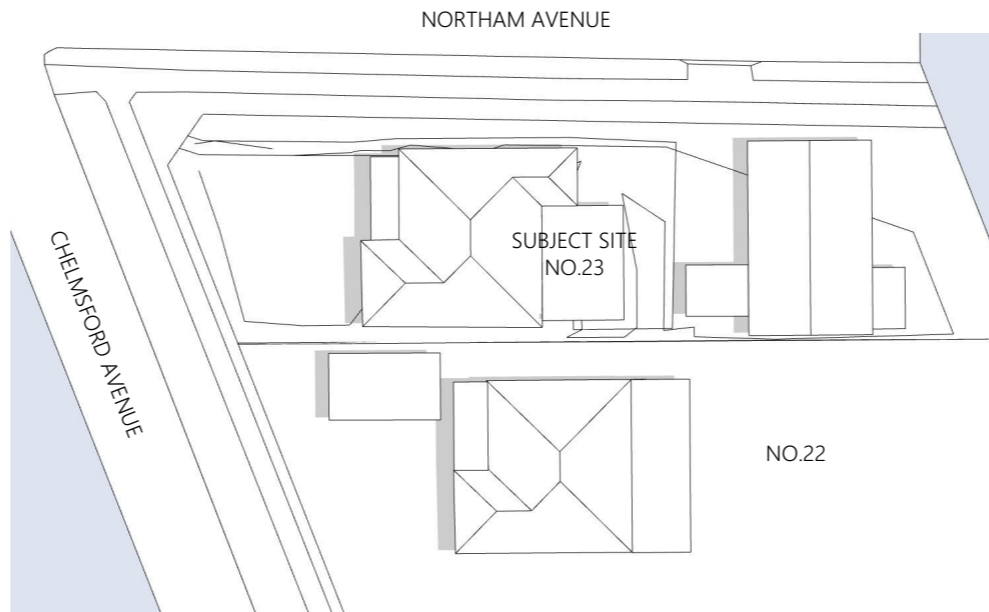
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Drawn | Checked **JG - JG**  
Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :  
**PROPOSED SECTIONS**  
PROJECT NAME :  
**23 CHELMSFORD AVENUE  
BANKSTOWN**

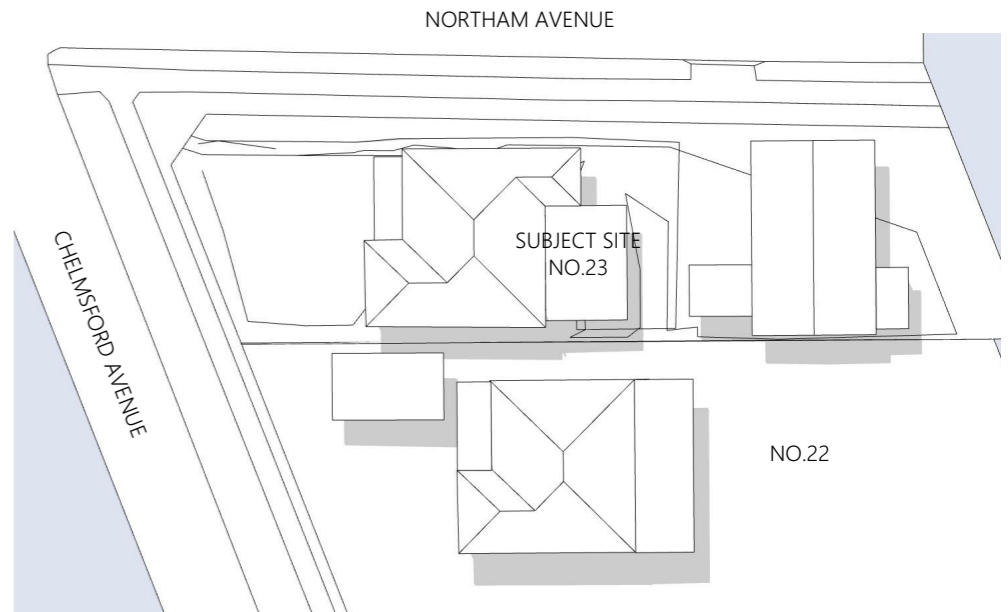
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**DA11**  
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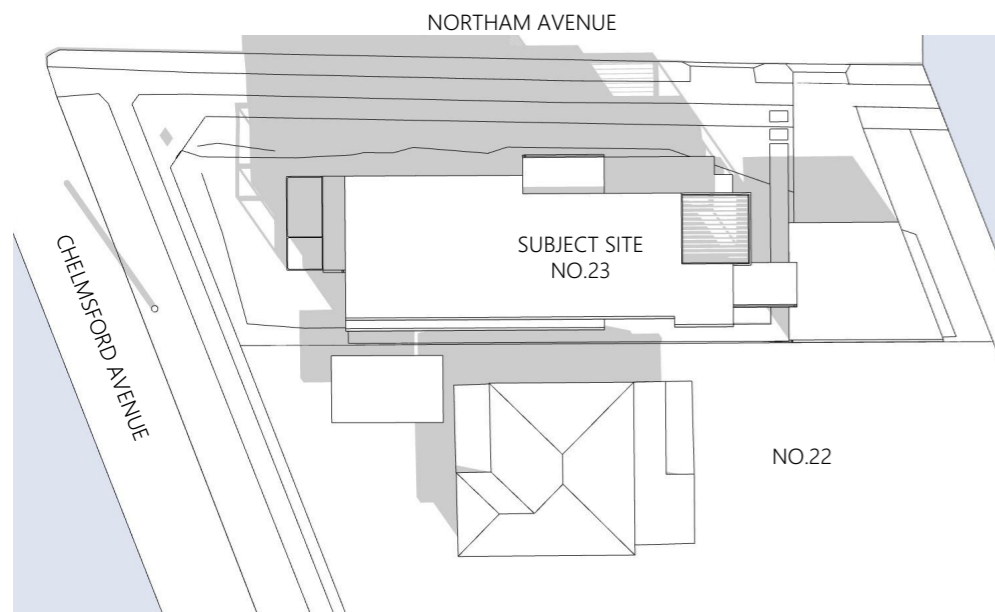
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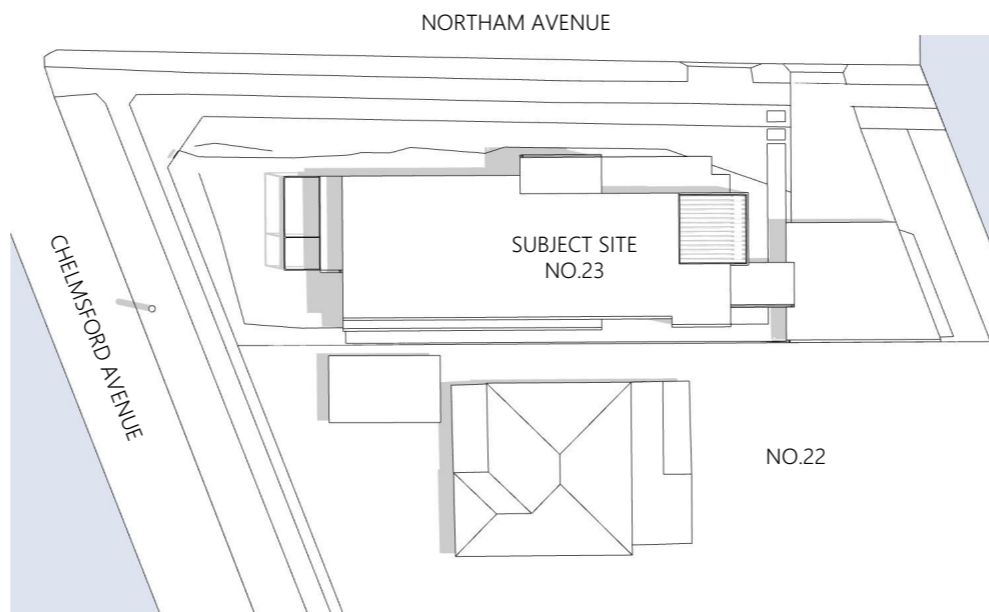
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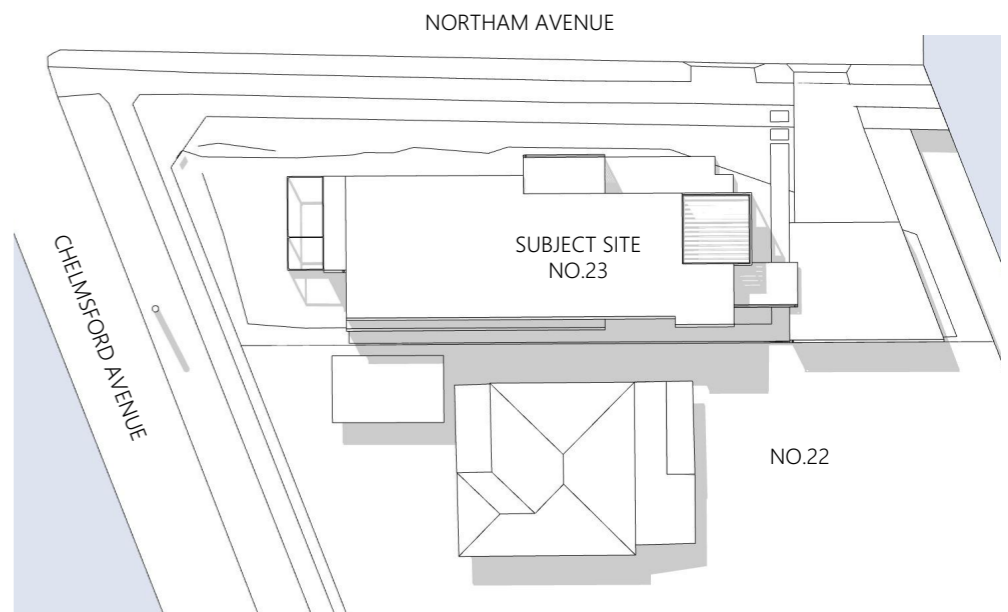
3 21 DEC 3PM - EXISTING



4 21 DEC 9AM - PROPOSED



5 21 DEC 12PM - PROPOSED



6 21 DEC 3PM - PROPOSED

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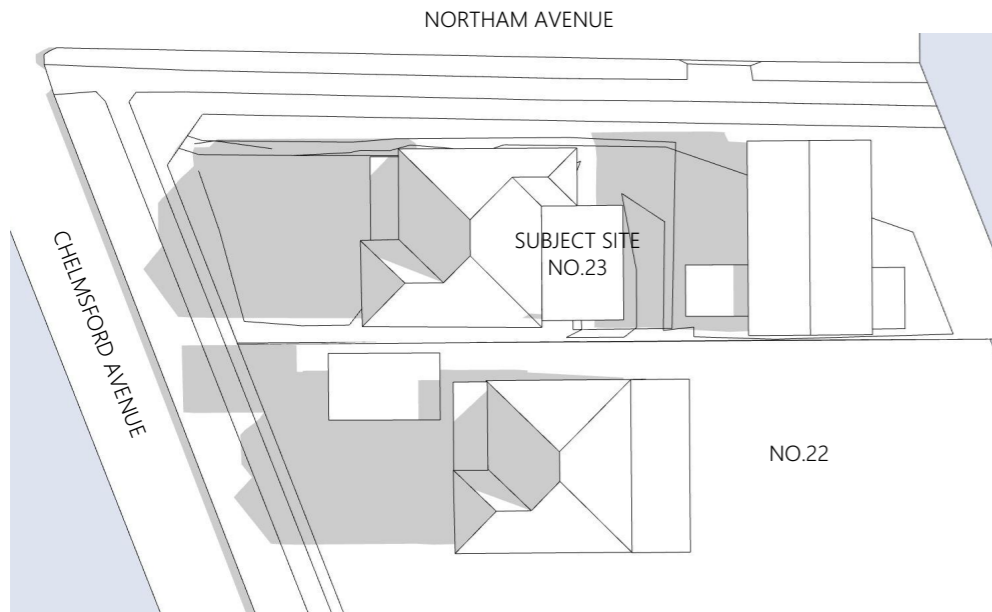
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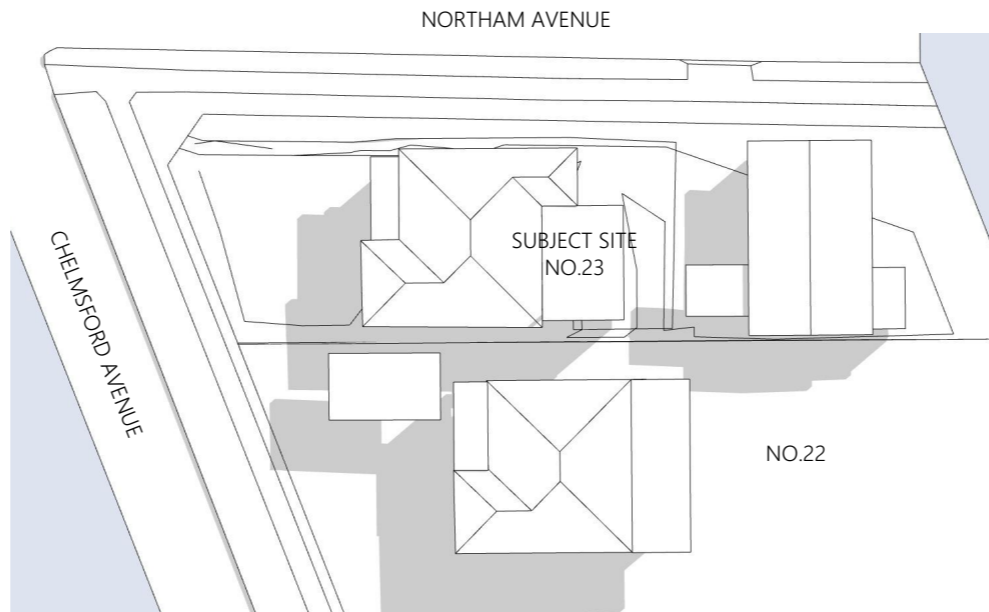
PROJECT DETAILS  
Drawn | Checked **JG - JG**  
Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :  
**SHADOW DIAGRAMS 3D -  
SUMMER SOLTICE**  
PROJECT NAME :  
**23 CHELMSFORD AVENUE  
BANKSTOWN**

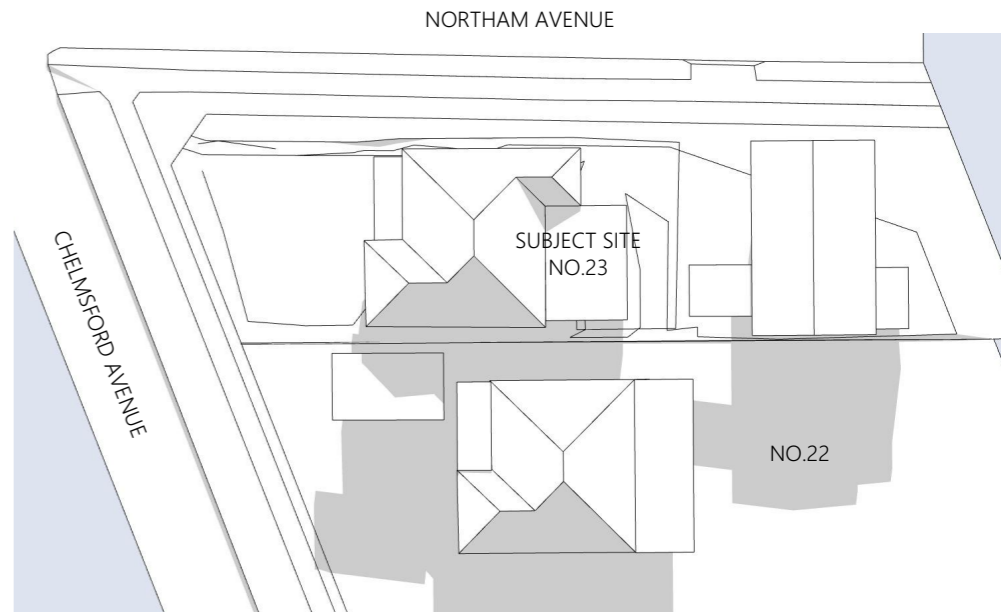
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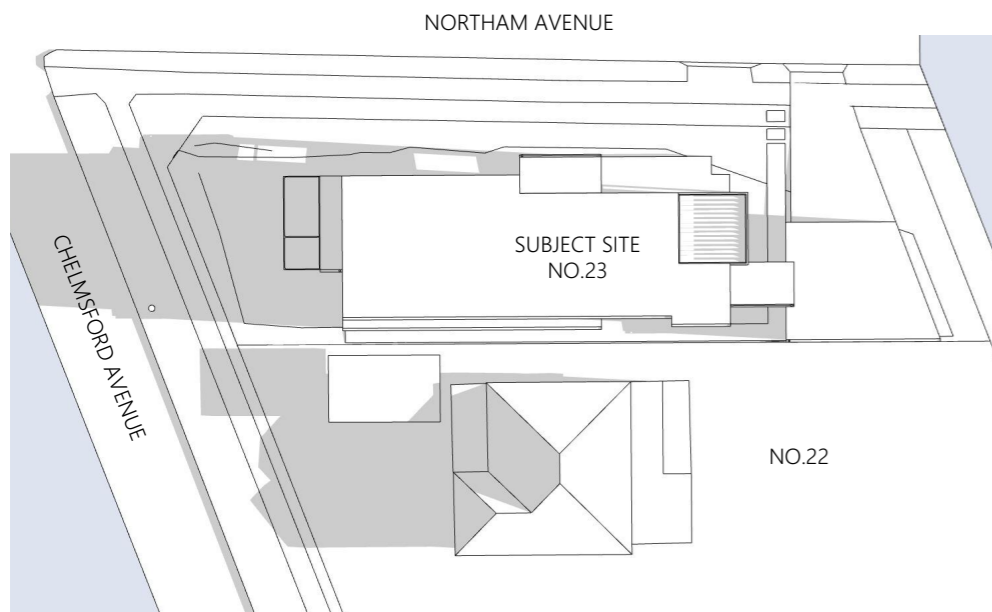
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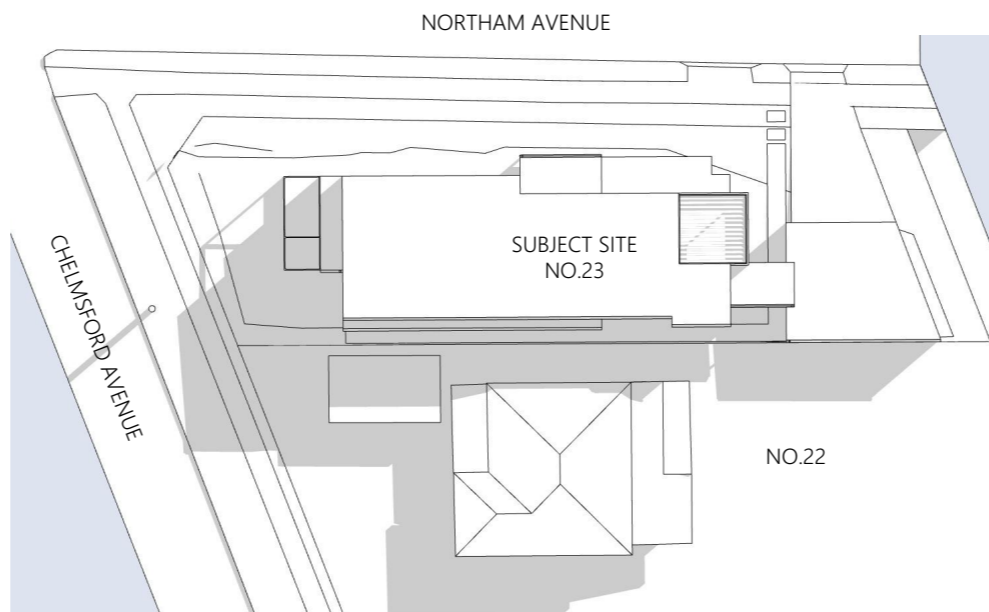
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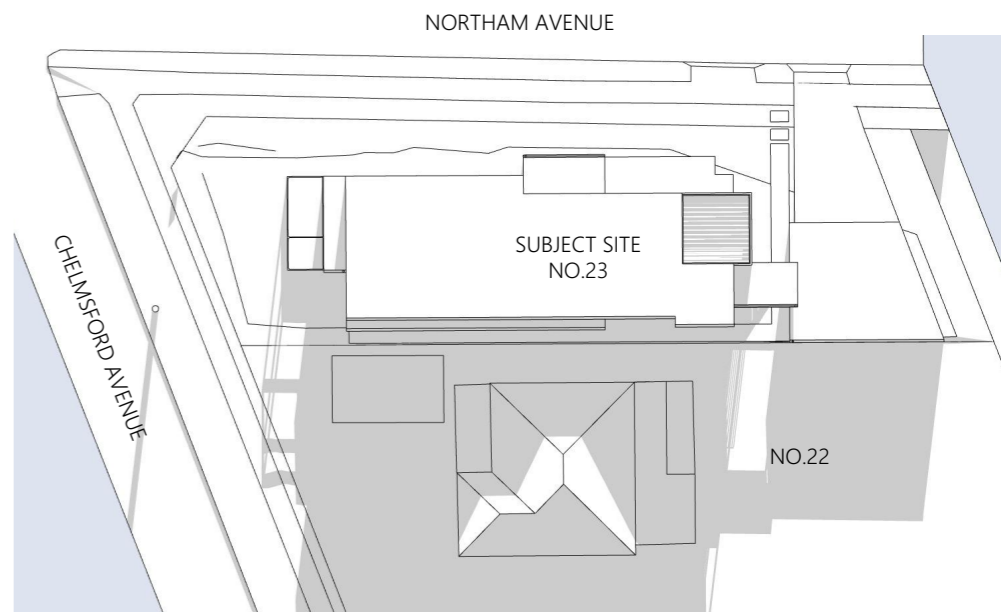
3 21 JUN 3PM - EXISTING



4 21 JUN 9AM - PROPOSED



5 21 JUN 12PM - PROPOSED



6 21 JUN 3PM - PROPOSED

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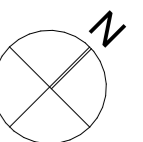
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REV	DATE	DESCRIPTION
01	14/01/2025	Issued for DA




PROJECT DETAILS  
Drawn | Checked **JG - JG**  
Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :  
**SHADOW DIAGRAMS 3D - WINTER SOLTICE**  
PROJECT NAME :  
**23 CHELMSFORD AVENUE BANKSTOWN**

REVISION NO.  
**01**  
DRAWING NO.  
**DA13**  
SCALE:  
**@ A3**



DOOR SCHEDULE						
ID	D1.1	D1.2	D1.3	D1.4	D2.1	D2.2
TYPE						
LEVEL	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM						
ELEVATION VIEW (EXTERNAL)						
AREA (m2)	2.40	6.72	6.72	5.76	6.72	6.72
FRAME WIDTH x HEIGHT (mm)	1,000x2,400	2,800x2,400	2,800x2,400	2,400x2,400	2,800x2,400	2,800x2,400
ORIENTATION	NORTH	NORTH	WEST	SOUTH	NORTH	WEST
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENTS	U-VALUE 4.10 OR LESS	U-VALUE 3.00 OR LESS	U-VALUE 3.00 OR LESS	U-VALUE 4.10 OR LESS	U-VALUE 3.00 OR LESS	U-VALUE 3.00 OR LESS
BASIX SHADING REQUIREMENT (PROJECTION / HEIGHT RATIO)	None	None	None	None	None	None
FLY SCREENS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
BAL RATING	N/A	N/A	N/A	N/A	N/A	N/A
NOTES						

Basix Requirements Summary									
New Dwelling 23 Chelmsford Avenue BANKSTOWN NSW 2200		Prepared by Chapman Environmental Services <a href="http://www.cesenergy.com.au">www.cesenergy.com.au</a> 1300 004 914							
Water Target	40	Water Score	45	Conditioned Area	265.4				
Energy Target	72	Energy Score	72	Unconditioned Area	20.5				
Max H & C Loads are (MJ/m²)		30	Actual H & C Loads are (MJ/m²)	28.4	Star Rating	7.2			
Basix Commitments									
Landscaping	Total area of garden & lawn (m²)		100	Area of indigenous/low water use plants (m²)		0			
Fixtures	Shower heads		4 star (> 6 but <= 7.5 L/min)		Toilets	4 star	All taps		4 star
Alternative Water	Minimum Rainwater tank size (L)		3000		Collect run off from roof area of at least (m²)				100
	Toilet connection No		Laundry connection Yes		Landscape connection Yes		Pool top up n/a		Spa top up n/a
Pool and Spa	Max pool volume (kL)								
Energy	Hot water system	Electric heat pump - air sourced			Rating	26 to 30 STCs			
	Bathroom ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Kitchen ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Laundry ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Cooling - living areas	Ceiling fans + 1-phase airconditioning			Rating	EER 3.0 - 3.5		Zoned	
	Cooling - bedrooms	Ceiling fans + 1-phase airconditioning			Rating	EER 3.0 - 3.5			
	Heating - living areas	1-phase airconditioning			Rating	EER 3.0 - 3.5			
	Heating - bedrooms	1-phase airconditioning			Rating	EER 3.0 - 3.5			
	Alternate Energy	Photovoltaic system able to generate at least			n/a	peak kilowatts of electricity			
Electric cooktop & electric oven	Outdoor clothesline required			No indoor clothesline required					
Thermal Performance Assessment Based on the Following Requirements									
Floor Types	35mm Alpha panel flooring system		with	R2.0 insulation					
Floor Coverings	Tiles	Living / Wet areas		Timber	n/a				
	Carpet	Bedrooms		Concrete	Garage				
External Walls	Timber framed 75mm Hebel clad		with	Sarking and R2.5 bulk insulation		Colour	Medium/Dark		
Internal Walls	Plasterboard		with	R2.5 bulk insulation to garage internal walls only					
Ceiling (floor over)	35mm Alpha panel flooring system		with	R2.0 bulk insulation					
Ceilings (roof over)	Timber above plasterboard.		with	R3.5 bulk insulation (exc garage)					
Roof	Metal		5 degrees	with	R1.3 roof blanket (exc garage)		Colour	Medium	
Windows and Doors	AF double glazed clear		Sliding W	VAN-003-02	U-Value 4.70 or less	SHGC 0.48 +/- 5%			
	to all windows and glazed doors unless noted otherwise		Awning W	AWS-008-25	U-Value 3.40 or less	SHGC 0.43 +/- 5%			
			Fixed W	AWS-069-08	U-Value 3.60 or less	SHGC 0.69 +/- 5%			
			Sliding D	AWS-013-21	U-Value 3.00 or less	SHGC 0.47 +/- 5%			
			Hinged D	AWS-019-01	U-Value 4.10 or less	SHGC 0.52 +/- 5%			
	AF = Aluminium Framed		TB = Thermally Broken Aluminium Framed		TF = Timber Framed				
<i>If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent</i> <i>Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed</i> <i>All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA</i> <i>If there is a discrepancy between this document and the Natthers Certificate, then the Natthers Certificate shall take precedence</i>									
Notes	2x Ceiling fans to lower and upper living areas 1x Ceiling fan to all bedrooms								

This document to be read in conjunction with the Basix Certificate and Natthers Universal Certificate



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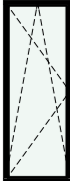
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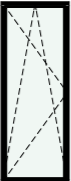
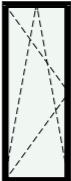





REV	DATE	DESCRIPTION
01	14/01/2025	Issued for DA

PROJECT DETAILS  
Drawn | Checked **JG - JG**  
Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :  
**PROPOSED DOOR SCHEDULES**  
PROJECT NAME :  
**23 CHELMSFORD AVENUE BANKSTOWN**

REVISION NO.  
**01**  
DRAWING NO.  
**DA14**  
SCALE:  
**@ A3**

WINDOW SCHEDULE												
ID	W1.1	W1.2	W1.3	W1.4	W1.5	W1.6	W1.7	W1.8	W1.9	W2.1	W2.2	W2.3
TYPE												
LEVEL	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM												
ELEVATION VIEW (EXTERNAL)												
AREA (m2)	0.90	2.16	2.16	2.16	0.90	0.90	2.16	1.08	0.90	1.26	0.78	2.16
FRAME WIDTH x HEIGHT (mm)	600×1,500	900×2,400	900×2,400	900×2,400	1,500×600	1,500×600	900×2,400	900×1,200	1,500×600	600×2,100	600×1,300	900×2,400
ORIENTATION	NORTH	WEST	WEST	WEST	EAST	EAST	WEST	EAST	EAST	NORTH	NORTH	WEST
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENTS	U-VALUE 3.60 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.60 OR LESS	U-VALUE 3.60 OR LESS	U-VALUE 3.40 OR LESS
BASIX SHADING REQUIREMENT (PROJECTION / HEIGHT RATIO)	None	None	None	None	None	None	None	None	None	None	None	None
FLY SCREENS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
BAL RATING	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NOTES												

WINDOW SCHEDULE							
ID	W2.4	W2.5	W2.6	W2.7	W2.8	W2.9	W2.10
TYPE							
LEVEL	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM							
ELEVATION VIEW (EXTERNAL)							
AREA (m2)	2.16	2.16	1.44	0.90	0.90	0.90	1.08
FRAME WIDTH x HEIGHT (mm)	900×2,400	900×2,400	2,400×600	1,500×600	1,500×600	1,500×600	1,800×600
ORIENTATION	WEST	WEST	SOUTH	EAST	EAST	EAST	EAST
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENTS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS
BASIX SHADING REQUIREMENT (PROJECTION / HEIGHT RATIO)	None	None	None	None	None	None	None
FLY SCREENS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
BAL RATING	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NOTES							



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REV	DATE	DESCRIPTION
01	14/01/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**

Plot Date: **4/02/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED WINDOW SCHEDULES

PROJECT NAME :

23 CHELMSFORD AVENUE  
BANKSTOWN

REVISION NO.

01

DRAWING NO.

DA15

SCALE:

@ A3



**CLD1** - 75mm AAC Hebel PowerPanel external wall system with Unitex Coatings Aero Render system



**CLD2** - 75mm AAC Hebel PowerPattern 100mm profile external wall system with render finish



**MRF** - Equideck Flat Roofing, 75mm thick Colour Dune Colorbond Monument edge capping and drip edge flushing



**PS & BF** - Aluminium battens pravity screen & boundary fence, Colour Monument



**VS** - Vergola system Colour Monument



**BRK1** - Brick recycled

Note - configuration, colours and finishes are for illustration purposes only.

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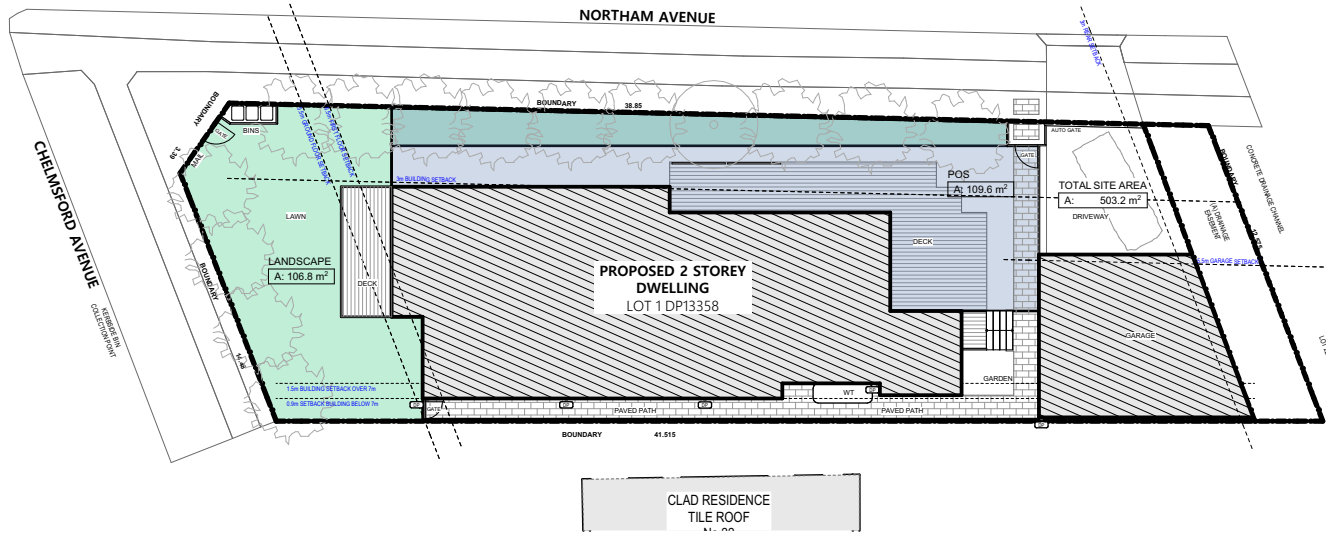
PROJECT DETAILS  
Drawn | Checked **JG - JG**  
Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :  
**EXTERNAL FINISHES SCHEDULE**  
PROJECT NAME :  
**23 CHELMSFORD AVENUE BANKSTOWN**

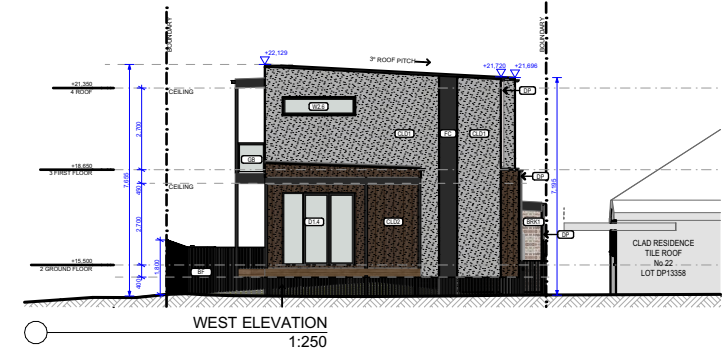
REVISION NO.  
**01**  
DRAWING NO.  
**DA16**

SCALE:  
**@ A3**

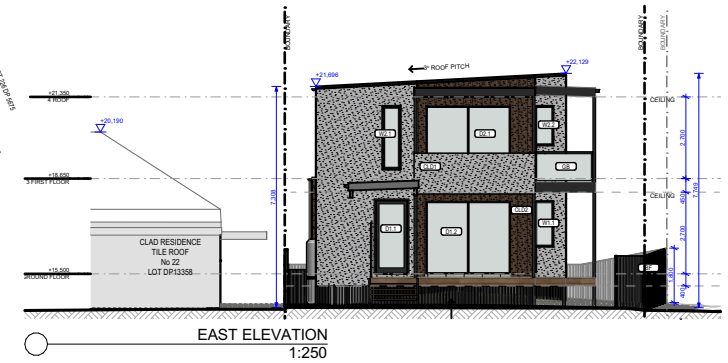




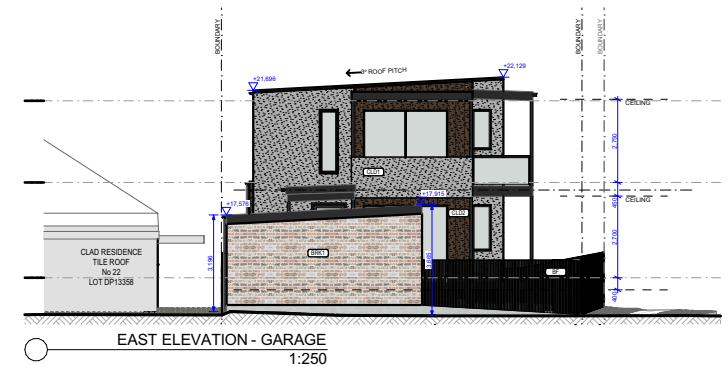
PROPOSED SITE PLAN  
1:300



WEST ELEVATION  
1:250



EAST ELEVATION  
1:250



EAST ELEVATION - GARAGE  
1:250



SOUTH ELEVATION  
1:250

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REV	DATE	DESCRIPTION
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PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **4/02/2025**  
Project Status **STAGE 1A**  
Client: **Minh Tran**  
Project: **2271**

DRAWING TITLE :

**NEIGHBOUR  
NOTIFICATION PLANS**

PROJECT NAME :

**23 CHELMSFORD AVENUE  
BANKSTOWN**

REVISION NO.

**01**

DRAWING NO.

**DA17**



SCALE:  
1:300, 1:250 @ A4